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February 19, 2020

Mr. Francis J. Hanney
Traffic Services Manager
PennDOT District 6-0
7000 Geerdes Boulevard
King of Prussia, PA 19406

RE: ePermitting System No. 207743
Traffic Log No: B17-023XP
Submission and Response to Comments
Easton Road (S.R. 0611) Wawa Redevelopment Project
Warrington Township, Bucks County, PA
McMahon Project No. 817306.2A

Dear Fran:

On behalf of the applicant, McMahon Associates, Inc. (McMahon) is submitting the following items for review associated with the proposed Easton Road Wawa Redevelopment Project located in the southwest quadrant of the intersection of Easton Road (S.R. 0611) and Maple Avenue in Warrington Township, Bucks County :

- 1) *Transportation Impact Study for Easton Road (S.R. 0611) Wawa Redevelopment Project*, prepared by McMahon Associates, Inc., dated January 21, 2020;
- 2) *Conditional Use Plan*, prepared by Maser Consulting, P.C., dated January 22, 2020.
- 3) Corresponding Synchro files.

According to the Site Plan prepared by Maser Consulting, P.C., the existing 3,300 square-foot Wawa convenience store will be replaced by a new 5,585 square-foot convenience store, and 12 fueling positions (6 pump islands) will also be provided. The existing Wawa is served by one full-movement site access along Maple Avenue, a right-in/right-out only site access along Easton Road (S.R. 0611), and a full-movement site access along Kansas Road. With the planned modernization, the existing site access along Maple Avenue will be closed. Along Easton Road (S.R. 0611), the existing right-in/right-out only site access for the Wawa and the existing left-in/right-in/right-out only site access for the Chickie's and Pete's parcel will both be closed. In their place, a new shared site access will then be provided for both properties along Easton Road (S.R. 0611) and located approximately 415 feet south of Maple Avenue. This new site access will be restricted to left-in/right-in/right-out only movements. Along Kansas Road, the existing full-movement site access will be relocated approximately 20 feet to the south to better align with Elm Avenue.

McMahon Associates, Inc. offers the following responses based upon the Department's Scoping Comments issued November 15, 2017:

Comment #1: The Department agrees that a scoping meeting is appropriate. Please coordinate with the District and Township via an online schedule tool to schedule a scoping meeting.

Response: The minutes from this meeting held on December 12, 2017 are provided in Appendix A.

Comment #2: Utilize the existing Wawa site traffic volumes for the appropriate proposed development peak hour(s) if the existing volumes are found to be higher than those calculated via the ITE Trip Generation Manual.

Response: The methodology utilized is documented in Appendix E of the study.

Comment #3: Unmet demand must be considered in the analysis of the S.R. 0132 (Street Road) & S.R. 0611 (Easton Road) intersection,

Response: The capacity/level-of-service analysis for this intersection reflects current operational conditions.

Comment #4: Perform a crash analysis for the most recent five-year period for all study area intersections on S.R. 0611 (Easton Road) and on S.R. 0132 (Street Road).

Response: This information will be provided in a future submission once the project enters the land development phase with the Township.

Comment #5: Perform a gap study for left turns entering the site from S.R. 0611 (Easton Road).

Response: This will be performed if deemed necessary upon review of the study.

Comment #6: Ensure that the submitted TIA contains:
a. A legible site plan showing the adjacent parcel(s) and driveways.
b. Meeting minutes from the October 5, 2017 meeting with the Township Planning Commission

Response: The conditional use site plan is provided. The Township has not posted the meeting minutes from the referenced meeting on their website.

Comment #7: Evaluate the signal phasing/timing modifications as necessary for all study intersections.

Response: The signalized phasing/timing was evaluated at the intersection of Easton Road/Street Road.

Comment #8: The adjacent project that needs to be accounted for in the future base traffic volumes is EPS 124786 iStart Harrisburg Business Trust (Valley Square shopping Center) and any proposed development deemed necessary through coordination with Warrington Township, as stated in the scoping application.

Response: The referenced project has not advanced with the Township. The other development projects utilized in the study were coordinated with the Township.

Comment #9: Coordinate with Warrington Township to determine any roadway improvements by others to be included in the analysis.

Response: This has been coordinated with the Township.

Comment #10: Verify the location of the existing SEPTA bus stop on S.R. 0611 (Easton Road) and coordinate with SEPTA if any site modifications will impact the stop.

Response: This item will be coordinated once the project advances to the HOP phase.

Comment #11: All weekday traffic counts should be conducted while local schools are in session.

Response: The counts were conducted when schools were in session.

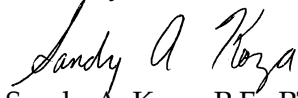
Comment #12: The Department will comment on the assumed Trip Distribution and Assignment when submitted.

Response: So noted.

The remaining comments in the letter do not require a response at this time given their general nature and many cannot be addressed until the HOP phase of the project.

If you should have any questions or require additional information regarding the submission as you complete your review, please feel free to contact me.

Sincerely,



Sandy A. Koza, P.E., PTOE
Project Manager

Attachments

cc: Erika Reed, The Dreher Group