

CONDITIONAL USE REQUIREMENT 370-2104	PROPOSED
THE FACILITY IS CONNECTED BOTH TO PUBLIC WATER AND PUBLIC SEWER SYSTEMS AND THAT ALL SERVICES ARE CONDUCTED WITHIN THE CONFINES OF THE LOT.	PUBLIC WATER AND PUBLIC SEWER SYSTEMS ARE LOCATED WITHIN KANSAS ROAD AND ARE CONDUCTED WITHIN THE CONFINES OF THE LOT.
NO ENTRANCE OR EXIT SHALL BE LOCATED WITHIN 100 FT OF A PROPERTY OF A SCHOOL, HOUSE OF WORSHIP OR HOSPITAL.	NO SCHOOL, HOUSE OF WORSHIP OR HOSPITAL IS LOCATED WITHIN 100 FT OF THE PROPERTY LINE.
NO MOTOR FUEL OF FUELING PUMP SHALL BE INSTALLED WITHIN 50 FT OF AN ABUTTING STREET LINE.	EACH FUEL HOSE IS SETBACK MORE THAN 50 FT FROM A STREET LINE.
ALL ACTIVITIES OTHER THAN THE SALE OF GASOLINE, OIL, ANTIFREEZE AND TIRES MUST BE CONDUCTED IN THE BUILDING ON THE PREMISES.	ONLY GASOLINE SALES WILL BE CONDUCTED OUTSIDE THE PREMISE OF THE CONVENIENCE STORE.
NO VEHICLE MAY BE PARKED EXCEPT SUBJECT TO THE RESTRICTIONS SET FORTH IN THE OFF-STREET PARKING REGULATIONS, ARTICLE XXXIV.	OFF-STREET PARKING COMPLIES WITH ARTICLE XXXIV.
THERE SHALL BE A MINIMUM LOT WIDTH OF 200 FT AT THE ULTIMATE RIGHT-OF-WAY.	THERE IS A MINIMUM LOT WIDTH OF 200 FT AT THE ULTIMATE RIGHT-OF-WAY.
PAINT SPRAYING OR BODY AND FENDER WORK SHALL NOT BE PERMITTED.	PAINT SPRAYING OR BODY AND FENDER WORK WILL NOT BE CONDUCTED AT THE PROPERTY.
VEHICLES SHALL NOT BE STORED OUTDOORS WHILE AWAITING REPAIRS FOR MORE THAN 30 DAYS; ALL SUCH CARS SHALL BE TOTALLY SCREENED WITH THIS CHAPTER.	VEHICLE REPAIRS AND/OR MAINTENANCE WILL NOT BE CONDUCTED AT THE PROPERTY.
THE SALE OR RENTAL OF AUTOMOBILES SHALL BE PROHIBITED.	THE SALE OR RENTAL OF AUTOMOBILES WILL NOT BE CONDUCTED AT THE PROPERTY.
THE MOTOR VEHICLE SERVICE STATION OR CAR-WASH FACILITY IS LOCATED ON A LOT CONTAINING A MINIMUM OF TWO ACRES.	THE PROPOSED LOT SIZE IS 2.007 ACRES.
THE LOT ON WHICH THE MOTOR VEHICLE SERVICE STATION OR CAR-WASH FACILITY IS LOCATED HAS DIRECT ACCESS TO FOUR-LANE ROADWAY (TWO LANES IN EACH DIRECTION).	THE MOTOR VEHICLE SERVICE STATION HAS DIRECT ACCESS TO EASTON ROAD (S.R. 611), WHICH IS A FOUR-LANE ROADWAY.

THE FOLLOWING VARIANCES WERE GRANTED AS PER THE SETTLEMENT AGREEMENT DATED JANUARY 14, 2020 DOCKET NO. 2019-05878

- A VARIANCE FROM SECTION 27-1106.1 "SCREENING AND BUFFERING":
TO PERMIT STREET SCREENING/BUFFERING OF 8.5' ALONG A PORTION OF EASTON ROAD RATHER THAN THE REQUIRED 15'.
- VARIANCES FROM SECTION 27-2101.15 "OFF-STREET PARKING, LOADING, AND UNLOADING - GENERAL REGULATIONS":
TO PERMIT A PARKING SETBACK OF 8.5' FROM THE ULTIMATE RIGHT-OF-WAY OF A PORTION OF EASTON ROAD RATHER THAN THE REQUIRED 15'.
TO PERMIT A SHARED ACCESS ROAD SETBACK OF 0' FROM THE SHARED PROPERTY LINE RATHER THAN THE REQUIRED 10'.

ZONE: C2 - COMMERCIAL 2

PROPOSED WAWA
EXISTING USE: RETAIL
PROPOSED USE: MOTOR VEHICLE SERVICE STATION (WAWA)
PERMITTED USE: MOTOR VEHICLE SERVICE STATION PERMITTED AS CONDITIONAL USE

BULK DESCRIPTION	REQUIRED	EXISTING	WAWA PROPOSED
MIN. LOT SIZE - SERVICE STATION	2 AC	1,974 AC. N/A	2,007 AC. N/A
MIN. LOT SIZE - OTHER USES	20,000 SF	N/A	N/A
MIN. LOT WIDTH	200 FT	381.4 FT EASTON ROAD	381.4 FT EASTON ROAD
MIN. FRONT YARD SETBACK (EASTON RD.)	60 FT	62.5 FT	63 FT
MIN. FRONT YARD SETBACK (MAPLE AVE)	60 FT	71.3 FT	130.7 FT
FRONT YARD SETBACK (KANSAS RD)	60 FT	78.7 FT	60 FT
MIN. REAR YARD SETBACK	35 FT	222.0 FT	169.3 FT
MIN. SIDE YARD SETBACK	20 FT	N/A	N/A
MIN. MOTOR FUEL HOSE SETBACK	50 FT	N/A	N/A
MAX. BUILDING COVERAGE	35 %	3.8%	13.3%
MAX. IMPERVIOUS SURFACE COVERAGE	75 %	57.1%	67.7%
MAX. BUILDING HEIGHT	35 FT	22 FT	33 FT

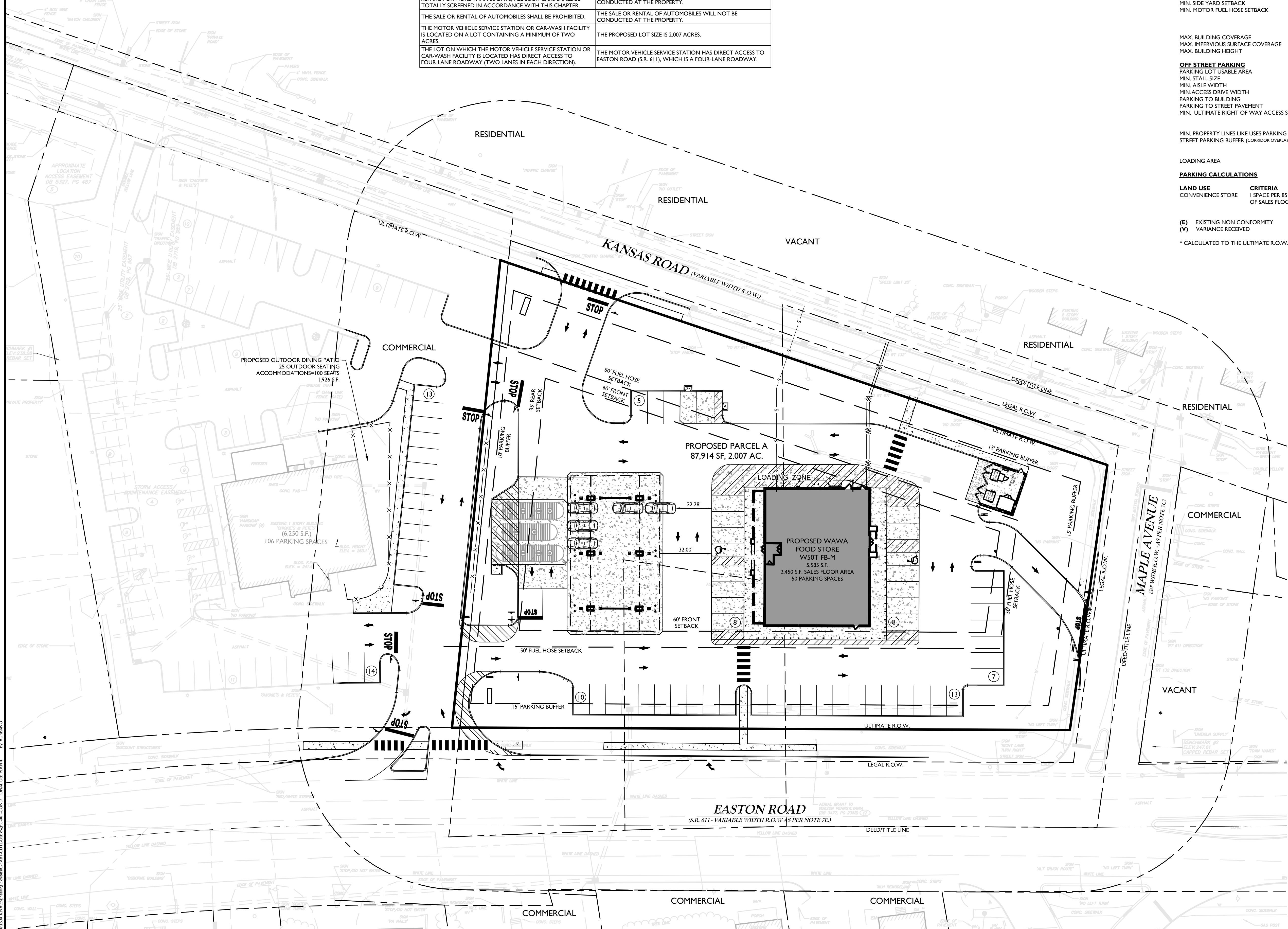
OFF STREET PARKING

DESCRIPTION	REQUIRED	EXISTING	WAWA PROPOSED
PARKING LOT USABLE AREA	450 SF PER SPACE	596 SF / SPACE	489 SF / SPACE
MIN. STALL SIZE	9.5 FT X 18.5 FT	10 FT X 18 FT (E)	10 FT X 18.5 FT
MIN. AISLE WIDTH	22 FT	24.0 FT	25.0 FT
MIN. ACCESS DRIVE WIDTH	18 FT	20.0 FT	18.0 FT
PARKING TO BUILDING	10 FT	9.9 FT (E)	10.0 FT
PARKING TO STREET PAVEMENT	20 FT	19.75 FT (MAPLE) (E)	25.7 FT (EASTON)
MIN. ULTIMATE RIGHT OF WAY ACCESS SETBACK	15 FT	EASTON RD 10.7 FT (E) MAPLE AVE 17.1 FT KANSAS RD 39.1 FT	EASTON RD 8.5 FT (V) MAPLE AVE 45.9 FT KANSAS RD 23 FT
MIN. PROPERTY LINES LIKE USES PARKING SETBACK	10 FT	42.2 FT	0 FT (V)
STREET PARKING BUFFER (CORRIDOR OVERLAY DISTRICT)	15 FT	EASTON RD 10.7 FT (E) MAPLE AVE 17.1 FT KANSAS RD 39.1 FT	EASTON RD 8.5 FT (V) MAPLE AVE 45.9 FT KANSAS RD 25 FT

PARKING CALCULATIONS

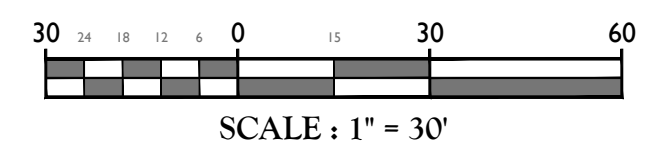
LAND USE	CRITERIA	REQUIRED	PROPOSED
CONVENIENCE STORE	1 SPACE PER 85 SF OF SALES FLOOR AREA	29 SPACES (2,450 SF SALES FLOOR AREA)	50 SPACES

(E) EXISTING NON CONFORMITY
(V) VARIANCE RECEIVED
* CALCULATED TO THE ULTIMATE R.O.W.



LEGEND

EXISTING	CENTER LINE	PROPOSED
12+00	13+00	12+00
13+00	12+00	13+00
RIGHT OF WAY/PROPERTY LINE		
EDGE OF PAVEMENT		
CURB		
DEPRESSED CURB		
SIDEWALK		
FENCES		
TREELINE		
ROADWAY SIGNS		
STALL COUNT		
ADA ACCESSIBLE STALL		
DIRECTION OF TRAFFIC FLOW		



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REV	DATE	DRAWN BY	DESCRIPTION
1	12/22/20	AJU	ADDED EGRESS DRIVEWAY ON TO MAPLE AVENUE

MICHAEL F. GALLAGHER
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER - LICENSE NUMBER: PE84021

CONDITIONAL USE PLAN
FOR
WARRINGTON EASTON, LLC
500 & 550 EASTON ROAD
PARCELS 50-31-5, 50-31-6, 50-31-6-1 & 50-31-7
WARRINGTON TOWNSHIP
BUCKS COUNTY
PENNSYLVANIA

RED BANK OFFICE
Corporate Headquarters
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Suite 203
Red Bank, NJ 07701
Phone: 732.383.1950
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SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	1/22/20	AJU	MPG
PROJECT NUMBER:		DRAWING NAME:	
16001629A		C-EXBT-CDTL-USE	

SHEET TITLE: **STACKING EXHIBIT**
SHEET NUMBER: | of |

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.